



Town of New Durham New Hampshire

Incorporated in 1762

BUILDING PERMIT INSTRUCTIONS

No Building Permit for any building or structure on any lot shall be issued except to the owner of record or his authorized agent. The proposed construction or alteration of a building or structure shall comply in all respects with the provisions of the Town of New Durham Zoning Ordinance, or with a decision rendered by the Zoning Board of Appeals or the Planning Board. Any application for such a permit shall be accompanied by some or all of the following required documents as required.

1. If other than property owner applying for permit, a letter of authorization.
2. 2 copies of plans (8 ½ X 11) drawn to scale to include elevations, showing cross sections of all parts of the structure including roof, walls and foundation. Must include spans
3. A completed Building Permit Application, with a site plan showing required setbacks.
4. "Approval for Construction" by DES for a Waste Water Disposal System if applicable.
5. Mechanical, Plumbing, and Electrical Permits issued with Building Permit if applicable.
6. Driveway Permit Application if applicable.
7. DES Approval if applicable.

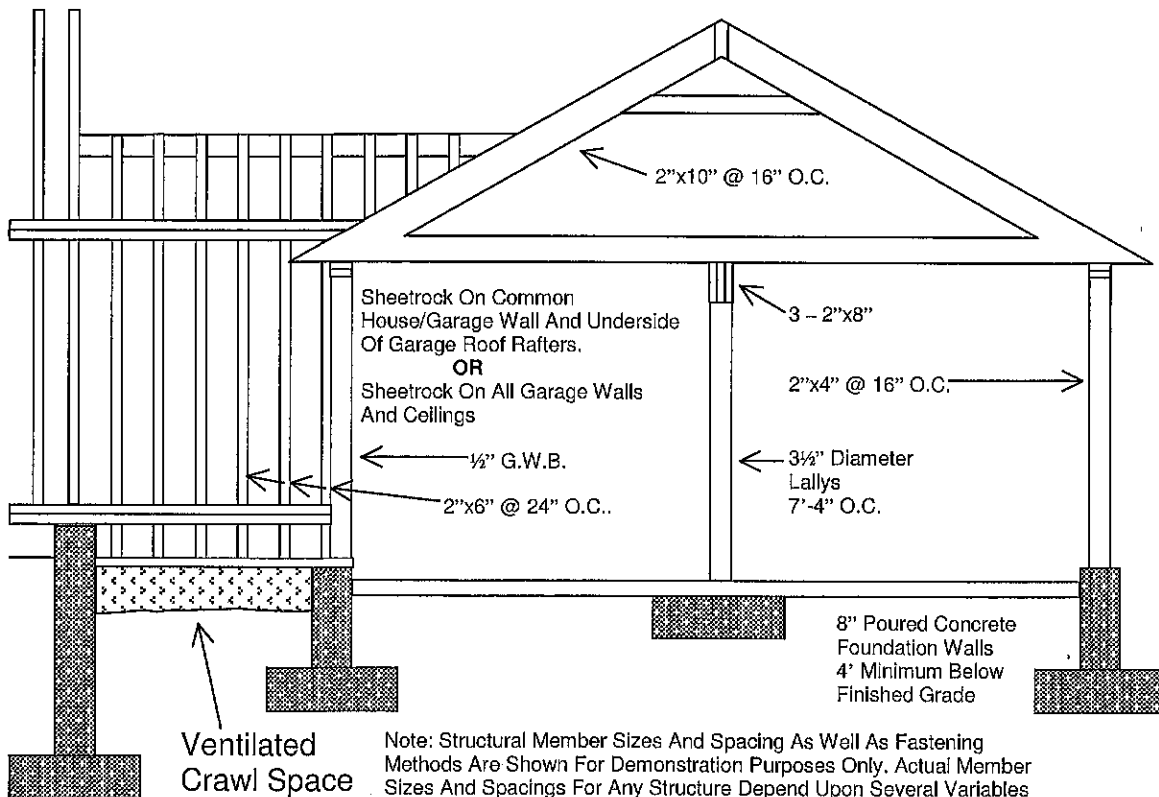
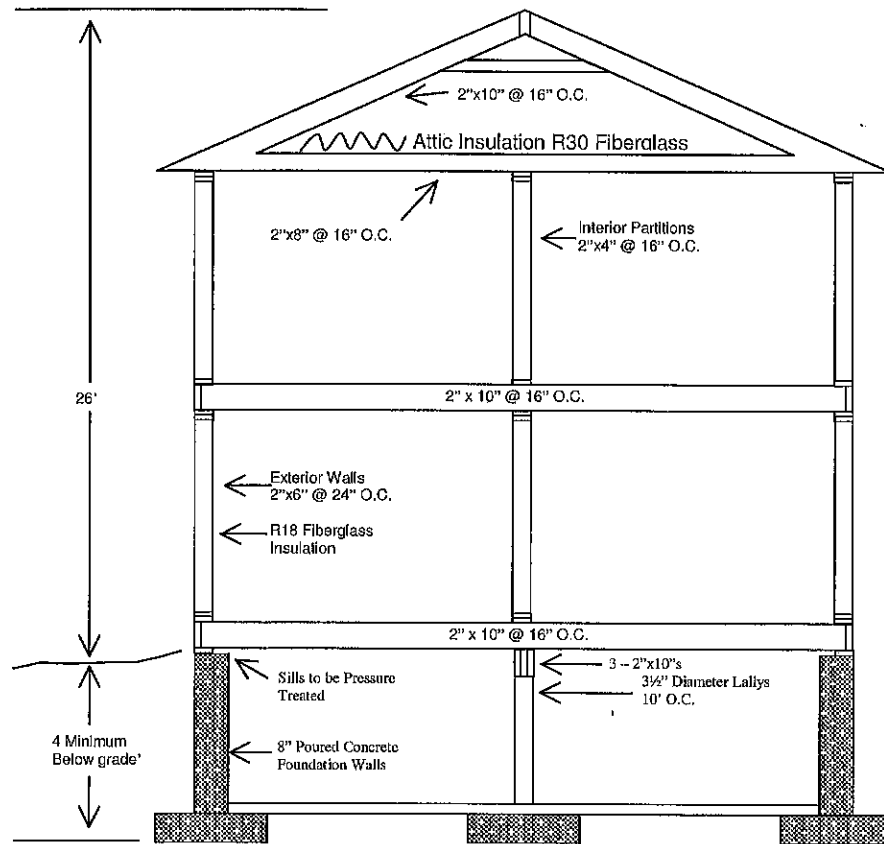
All new structures and driveways must be staked out in the location where they are to be constructed.

Inspections – 36 hour notice. Please call the building inspector's cell phone 603-978-2190.

New Durham has Construction Job Site Policy.

1. Portable toilets, if there is no available on site facility available to workers.
2. Roll-off dumpster or container or remove demolition and scrap material from site daily.

All Permits are subject to appeal or revocation for 30 days after issuance. Commencement of work within the 30-day period shall be at the risk of the permit holder/property owner.



Note: Structural Member Sizes And Spacing As Well As Fastening Methods Are Shown For Demonstration Purposes Only. Actual Member Sizes And Spacings For Any Structure Depend Upon Several Variables Unique To Each Individual Case.

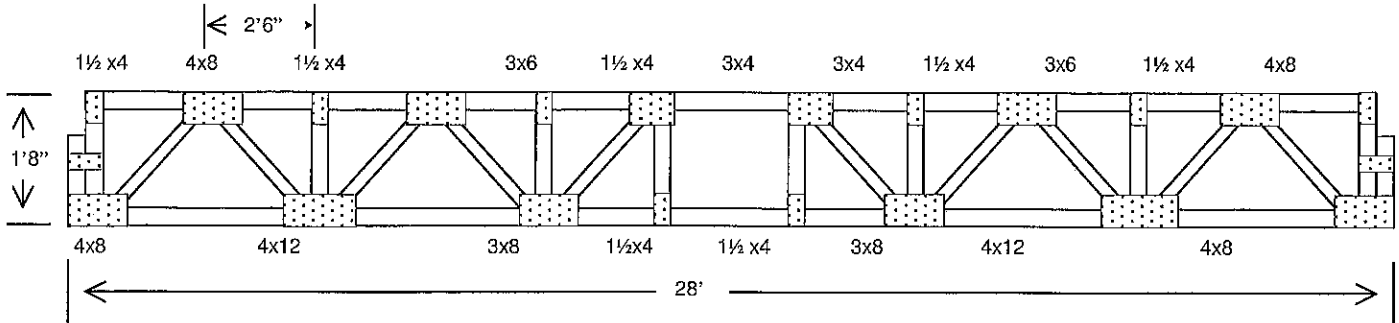
Framing Cross Section Samples

Top Chord 4x2 SP SS Dense
 Bot Chord 4x2 SP SS Dense
 Web 4x2 SP SS Dense

Truss Must Be Installed As Shown With Top Up.

2x6 Continuous Strongback. See ANSI/TPI 1-02 Sect. 7.5

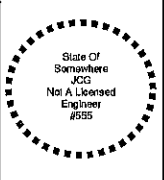
Calculated Vertical Deflection Is .78" Due To Live Load
 .27" Due To Dead Load at X=13-1-12



IBC/TPT1995(STD)

QTY=27 TOTAL=27

Rev.7.18.1973.01



Warning. Trusses Require Extreme Care In Fabricating, Handling, And Bracing. This Is Only An Example Of A Truss Spec. If It Was Real, Other Words Would Be Here. I AM Only Trying To Fill The Space That I have Created. The Use Of This Drawing Is Not Intended To Be Used In Part Or Whole. It Was Drawn Not To Scale. It Was Drawn By An Electrical Inspector That Has No Clue About Structural Design.

| | |
|---------|--------|
| TC LL | 40 PSF |
| TC DL | 10 PSF |
| BC DL | 5 PSF |
| BC LL | 0 PSF |
| TOT L.D | 55 PSF |
| DUR | 1.0 |
| SPACING | 34" |

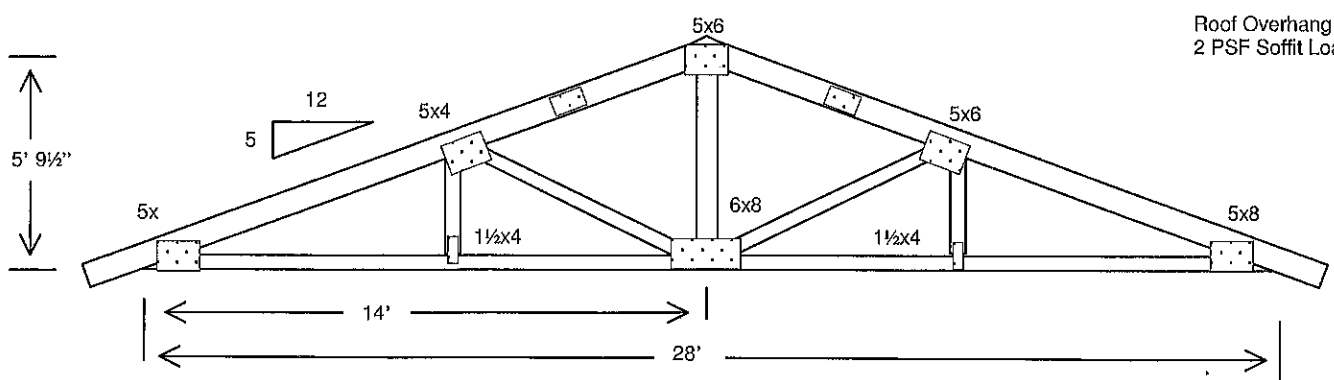
Ref Date: 07/18/2006
 Drawing 1st One
 Type: X2Y3

TRUSS SAMPLES

Top Chord 2x6 SPF Dense
 Bot Chord 2x4 SPF Dense
 Web 2x4 SPF Dense

90 MPH Wind Speed
 60 LBS Roof Snow Load
 Seismic Zone D1

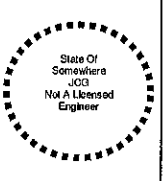
Roof Overhang Supports
 2 PSF Soffit Load



IBC/TPT1995(STD)

QTY=25 TOTAL=25

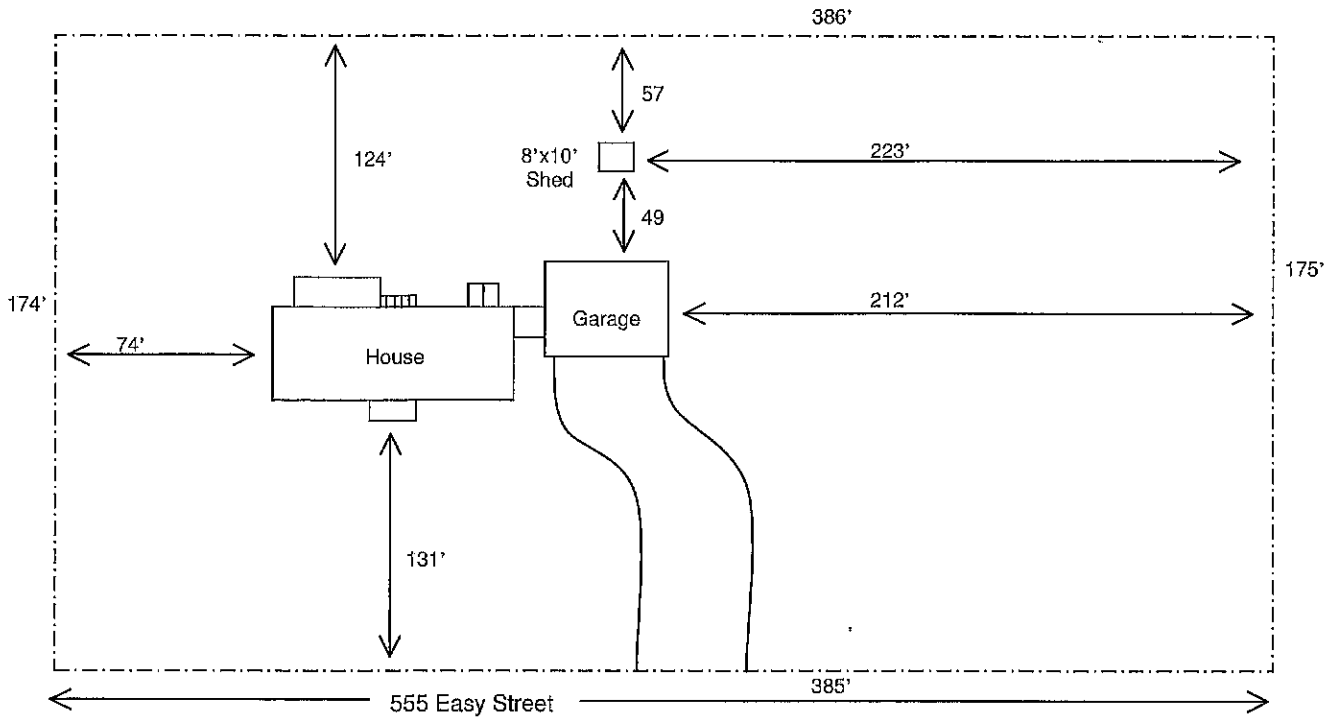
Rev.7.18.1973.02



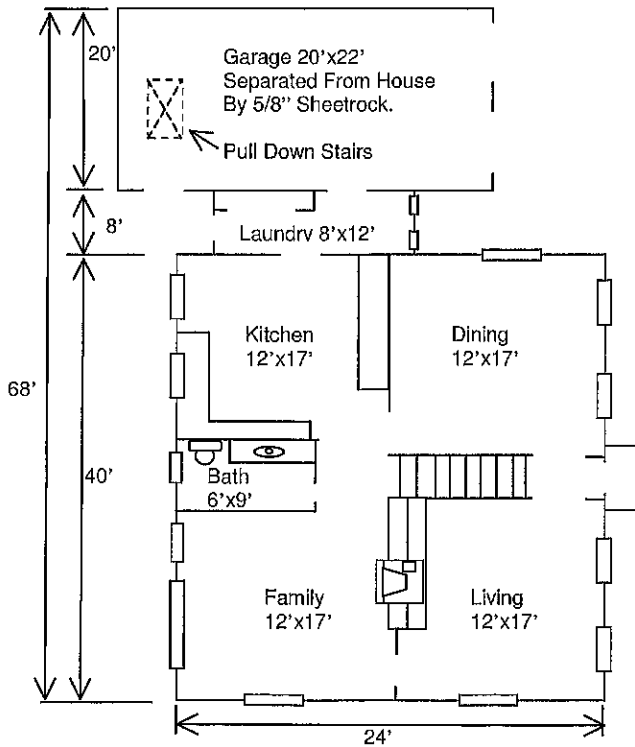
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| | |
|---------|--------|
| TC LL | 75 PSF |
| TC DL | 8 PSF |
| BC DL | 7 PSF |
| BC LL | 0 PSF |
| TOT L.D | 55 PSF |
| DUR | 125 |
| SPACING | 24" |

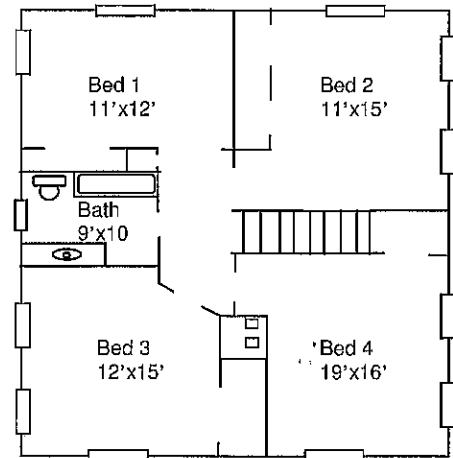
Ref Date: 07/18/2006
 Drawing 2nd One
 Type: X3Y2



Sample Site Plan



1st Floor Plan



2nd Floor Plan

Sample Floor Plans



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BUILDING PERMIT APPLICATION

Map _____ Lot _____

Permit # _____

Physical Address _____

Date _____

Owner Information:

Contractor Information:

Name _____

Name _____

Address _____

Address _____

Phone # _____

Phone # _____

Email Address: _____

Email Address: _____

Building Lot Information

Base Zoning District:

Overlay Zoning District:

Description of Proposed Construction:

Occupancy/Use Information:

- Residential
- Residential/Seasonal Only
- Accessory/Storage
- Commercial/Industrial
- Business
- Mixed Use
- Institutional/Assembly

New Building Plan Information:

Living Space _____ Sq Ft
 Non-Living Space _____ Sq Ft
 Remodeling _____ Sq Ft
 Porches, Decks, Sheds _____ Sq Ft
 Number of Bedrooms _____ Baths _____
 Septic Permit # _____
 Energy Compliance # _____

Other Permits Required:

- Planning Board Approval / Date _____
- Zoning Board Approval / Date _____
- Floodplain Permit
- Driveway on Town, State, OR Private Road Association
- Dept of Environmental Services
- After-the-Fact
- Electrical
- Plumbing
- Mechanical / Gas
- Sign
- Historic Commission
- Seasonal Conversion

**** * for OFFICE USE ONLY * ****

Arthur Capello, Building Inspector/Code Enforcement Officer

_____ Date

PO Box 207, 4 Main St, New Durham, NH 03855

Cell 603-978-2190 Office 603-859-0516 Fax 603-859-6644 Web Site: www.newdurhamnh.us

E-mail: ndbldinsp@metrocast.net Office Hours: Mon. 5-9PM, Thur. 5-9PM & Sat. 8-12 Noon



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BUILDING PERMIT SITE PLAN

For our mapping purposes a sketch of the site plan must be on this page and include the following:

1. Identify the dimension of the lot.
2. Proposed and existing structures on the property.
3. Location of the Driveway from Property Line to Center of Driveway.
4. All distances from: Property Lines, Edge of Right of Ways, Water Bodies and Wetlands.

MAP _____ LOT _____ PROPERTY ADDRESS _____

Estimated Cost of Construction: \$ _____

I hereby certify that all the information on this application is correct:

Signature of Applicant _____

***** ***** ***** ***** ***** **FOR OFFICE USE ONLY** ***** ***** ***** ***** *****

() Granted Fee \$ _____

() Denied Reason for Denial: _____

Arthur Capello, Building Inspector/Code Enforcement Officer

Date

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BUILDING PERMIT ATTESTMENT FORM

Notice

1. Construction must start from issuance of Building Permit within six (6) months.
2. Building Permit must be displayed visibly on location.
3. When all rough carpentry (electrical and plumbing) is complete, call the building inspector's office for a rough-in inspection.
4. To obtain an Occupancy Certificate, contact the building inspector. All work must be completed.
5. If a return inspection trip is necessary for failing an inspection, an additional fee of \$25.00 will be charged.
6. You are responsible for the Building Permit. It must be returned to the Code Enforcement Officer before receipt of the Occupancy Certificate.

Important Considerations

I _____ hereby attest that all of the information/measurements stated on the building permit application /site plan are accurate and in compliance with the Town of New Durham Zoning Ordinance.

Furthermore, I understand that any variance from these measurements that encroaches upon the minimum setbacks requirements as set forth in the New Durham Zoning Ordinance, will be corrected through the direction of the Town of New Durham Code Enforcement Officer. In addition, I also agree to pay, in full, all costs incurred by the Town of New Durham to bring into conformance any violation that this structure/use may create.

All permits are subject to appeal or revocation for 30 days after issuance. Commencement of work within the 30-day period shall be at the risk of the permit holder/property owner.

Owner Signature

Date

Contractor Signature

Date

***** ***** ***** ***** ***** **FOR OFFICE USE ONLY** ***** ***** ***** ***** *****

Arthur Capello, Building Inspector/Code Enforcement Officer

Date

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